



Kelvin Road, Ipswich, Suffolk  
£259,950



**An opportunity to acquire this spacious three bedroom detached family house located just off the Norwich road close to local shops, schooling, retail park and access to the A12/A14.**

- **DETACHED HOUSE**
- **THREE BEDROOMS**
- **LIVING AREA**
- **DINING ROOM**
- **GARDEN ROOM/UTILITY**
- **CLOAKROOM**
- **FAMILY BATHROOM**
- **DRIVEWAY & GARAGE**
- **POTENTIAL OFFICE/STUDIO TO GARDEN**
- **CLOSE TO A12/A14**

**PROPERTY:**

An opportunity to acquire this three bedroom detached home located in a convenient position just off the Norwich Road. This well proportioned residence offers most modern conveniences for the growing family and benefits from a 17ft garden room which doubles up in one part as a utility room as well. Other features include:- entrance porch, cloakroom, dining area, fitted kitchen, three good sized bedrooms and family bathroom. The property also has gas to radiator heating and double glazing whilst the generous garden supports a potential studio/office. There is also a driveway and garage.







#### **LOCATION:**

The property is located just off the Norwich road to the North West of Ipswich with a wealth of local shops close by as well as excellent access to Ipswich Town Centre and trunk roads. The county town of Ipswich is served by a wide range of local amenities including schools, university, shops, doctors, dental surgeries, hospital, two theatres, parks, recreational facilities and mainline railway station providing direct links to London Liverpool Street Station. The town has also undergone an extensive rebuilding and a gentrification programme principally around the vibrant waterfront which now boasts some lovely bars and restaurants.

#### **ENTRANCE PORCH:**

4'2 x 1'10 (1.27m x 0.56m)

Double glazed entrance door and side window to porch with further glazed door and window to:-

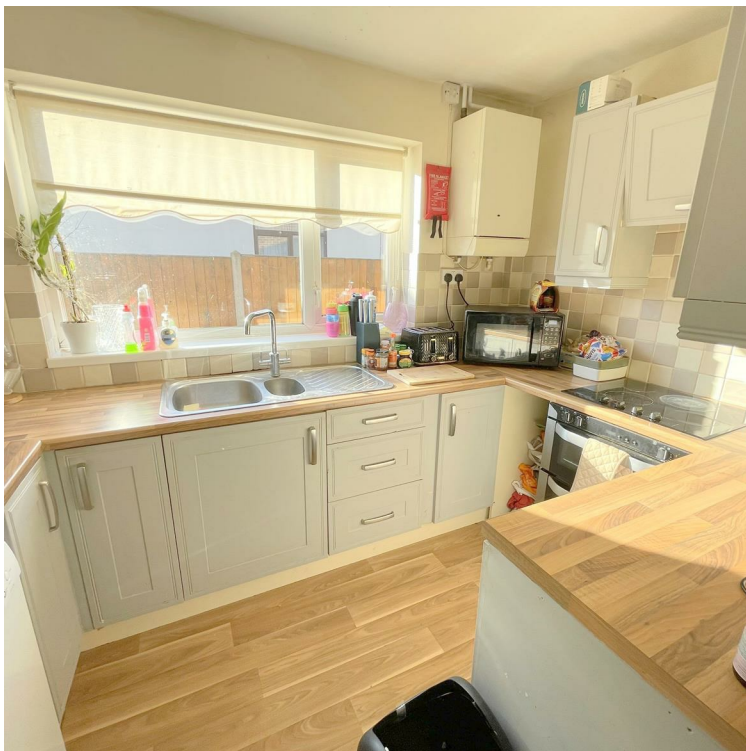
#### **HALLWAY:**

12'10 x 5'5 (3.91m x 1.65m)

Textured ceiling, radiator, stair flight to first floor landing and storage cupboard under stairs.







#### **CLOAKROOM:**

6'10 x 2'7 (2.08m x 0.79m)

Textured ceiling, extractor fan, drop light switch, pedestal wash hand basin with mixer tap and tiled splash back and low level WC.

#### **LIVING ROOM:**

13'4 x 11'5 (4.06m x 3.48m)

Coved and smooth ceiling, double glazed window to front elevation, radiator and open to:-

#### **DINING ROOM:**

13'6 x 9'11 (4.11m x 3.02m)

Coved and smooth ceiling, radiator, two double glazed side panels and double glazed French doors to garden room/utility, wood laminate flooring.

#### **KITCHEN:**

10'0 x 6'10 (3.05m x 2.08m)

Smooth ceiling, double glazed window to side elevation, one and a quarter bowl inset sink unit with mixer tap and cupboards under, a range of floor standing cupboards drawers and units with adjacent work surfaces, wall mounted matching cupboards, wall mounted gas boiler, space for dishwasher, filter hood over four ring hob, electric oven under and space for a fridge freezer.

#### **GARDEN ROOM/UTILITY:**

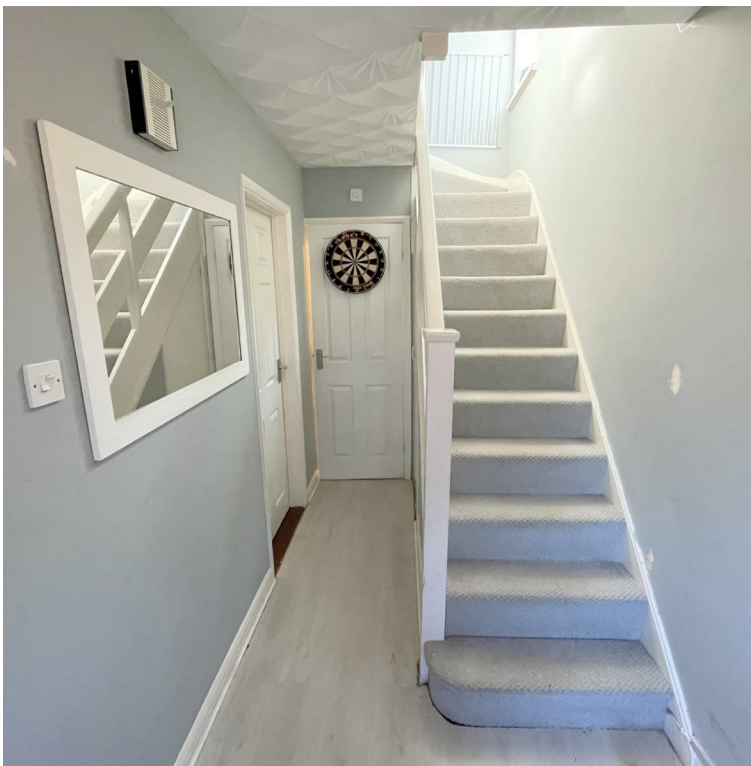
17'5 x 9'3 (5.31m x 2.82m)

Smooth ceiling, recess lighting, double glazed windows to garden, two double glazed panel windows and double glazed French doors to garden, further double glazed door to side, space for washing machine space for tumble drier, wall mounted cupboard and tiled flooring.

#### **LANDING:**

8'3 x 5'11 (2.51m x 1.80m)

Textured ceiling, and double glazed window to side elevation.





**BEDROOM 1:**

14'2 x 10'0 (4.32m x 3.05m)

Coved ceiling, double glazed window to rear elevation, radiator, fitted wardrobe cupboards with sliding doors and wooden flooring.

**BEDROOM 2:**

13' reducing 11'0 x 13'6 (3.96m reducing 3.35m x 4.11m)

Smooth ceiling, double glazed window to front elevation, radiator and built in double wardrobe cupboard.

**BEDROOM 3:**

8'6 x 5'11 (2.59m x 1.80m)

Coved and smooth ceiling, double glazed window to front elevation, radiator and walk in storage area.

**BATHROOM:**

10'4 x 6'10 (3.15m x 2.08m)

Coved and smooth ceiling, recessed lighting, drop light switch, double glazed windows to, rear and side elevation, pedestal wash hand basin with tiled splash back, low level WC, panel bath with shower unit over and screen and heated towel radiator.

**FRONT GARDEN:**

Part block paved behind a brick boundary wall with further concrete driveway to Garage.

**REAR GARDEN:**

Generous in size laid mainly to lawn, paved patio area and timber work shop with potential for studio or home office.

**GARAGE:**

16'6 x 8'2 (5.03m x 2.49m)

Up an over door, double glazed window to garden, personal door to garden. Power and lighting.

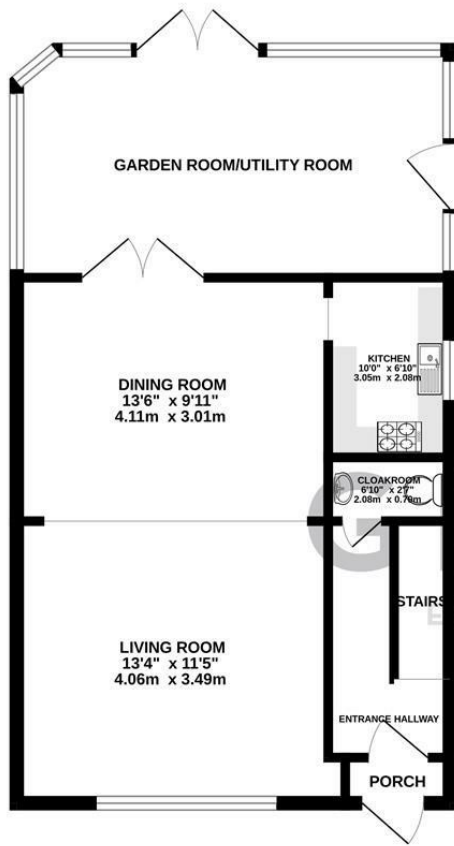




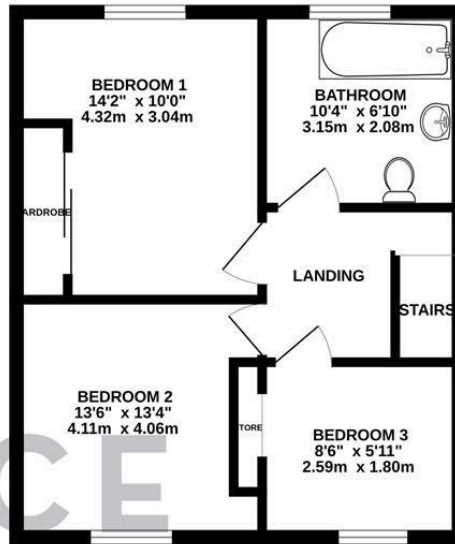




GROUND FLOOR  
536 sq.ft. (49.8 sq.m.) approx.



1ST FLOOR  
382 sq.ft. (35.5 sq.m.) approx.



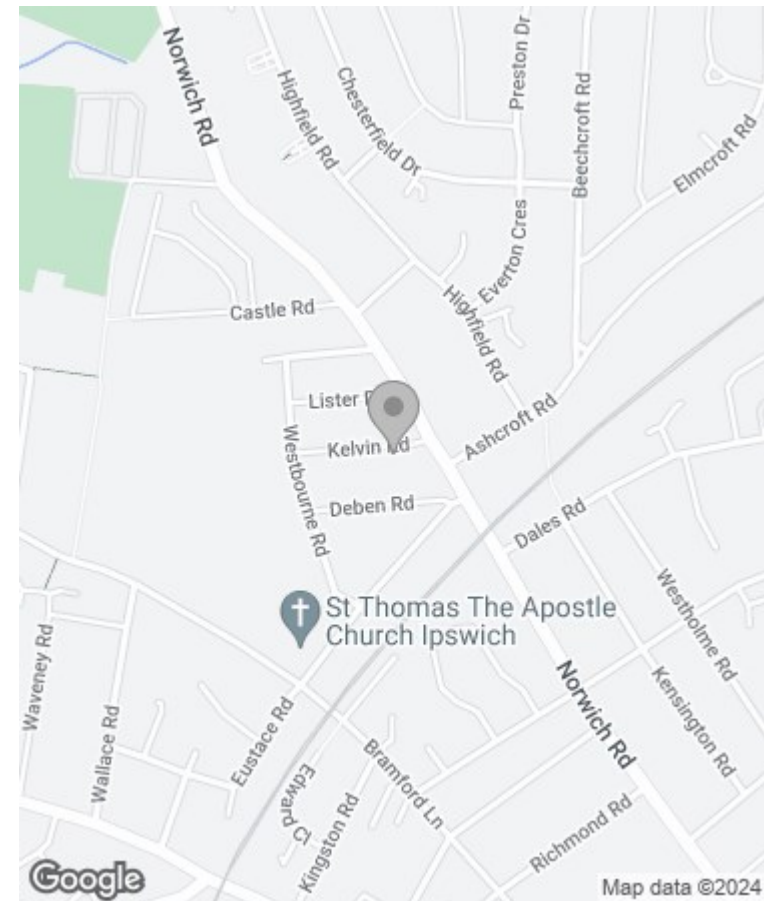
TOTAL FLOOR AREA : 918 sq.ft. (85.3 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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## Viewing

Please contact our Grace Estate Agents Office on 01473 747728 if you wish to arrange a viewing appointment for this property or require further information.

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	80

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales	EU Directive 2002/91/EC	